

GENERAL NOTES

ALL WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALING OF DRAWINGS

- KICKOUT FLASHING TO BE INSTALLED AS NEEDED
- EXTERIOR WALL FINISHER TO VERIFY KICKOUT
- FLASHING IS INSTALLED PRIOR TO FINISHING
- CARPENTER TO FLASH ALL EXTERIOR WINDOWS
- & DOORS PERMIN. AND IRC CODE REQUIREMENTS

INSURE THESE PLANS ARE ACCURATE AND COMPLETE. THE OWNER/BUILDER MUST VERIFY ALL DIMENSIONS, CONSTRUCTION METHODS, SITE CONDITIONS AND SPECIFICATIONS. SIZES OF STRUCTURAL MEMBERS SUCH AS FOOTINGS, FOUNDATION SIZING, POSTS, BEAMS, JOISTS, RAFTERS, TRUSSES ETC. ARE FOR BIDDING AND REVIEW PURPOSES ONLY.

- 1. PLAN SET DOCUMENTS TO REMAIN ON JOB SITE AT ALL TIMES.
- 2. DEVIATIONS FROM PLANS MUST BE SENT TO OWNER/DESIGNER
- 3. DIRT PADS WILL BE FREE OF ALL FOREIGN MATERIALS
- 4. CONCRETE WASH/OUTS WILL BE DONE ON SITE OF POURS.
- 5. SILT FENCES AND DRAINAGE SHALL BE MAINTAINED THROUGHOUT PROJECT.

WINDOW SPECIFICATIONS:
ALL WINDOWS SET AT 6'-10" A.F.F. @ 8' CLG. HGT.
UNLESS NOTED OTHERWISE
3060 = DOUBLEHUNG 3'-0"x6'-0"
D= DBL. HUNG C= CASEMENT
F= FIXED
A= AWNING S= HOR. SLIDER

NOTE: BOTH WINDOW & EXTERIOR DOOR SUPPLIERS SHOULD VERIFY ALL OPENINGS ON PLANS. SUPPLIER/INSTALLER SHOULD ALSO VERIFY ALL INTERIOR DOORS, FULL-DOWN STAIRS ETC. FOR CORRECT SWING AND COUNT. A PHYSICAL TAKE-OFF IS REQ.

NOTE: WHILE EVERY EFFORT HAS BEEN MADE TO INSURE THESE PLANS ARE ACCURATE AND COMPLETE. THE OWNER/BUILDER MUST VERIFY ALL DIMENSIONS, CONSTRUCTION METHODS, SITE CONDITIONS AND SPECIFICATIONS. SIZES OF STRUCTURAL MEMBERS SUCH AS FOOTINGS, FOUNDATION SIZING, POSTS, BEAMS, JOISTS, RAFTERS, TRUSSES ETC. ARE FOR BIDDING AND REVIEW PURPOSES ONLY.

Builder Responsibility

- 1. It is the responsibility of the builder to assure that all work is in accordance with the latest edition of all applicable National, State, and Local Building Codes. It is the builders responsibility to ensure that all work is conducted in accordance with the latest edition of all applicable Construction Standards.
- 2. To ensure that all manufactured articles, material, and equipment are applied, installed, connected, erected, used, cleaned, adjusted, operated and conditioned as directed by the manufacturers. Builder shall follow all instruction to sustain and preserve all expressed or implied warranties and guarantees.
- 3. Builder to assure that all materials, equipment and components are new and of good quality.
- 4. Builder to check all dimension and details for overall accuracy appropriate to the local conditions and the final selection of materials such as masonry, floor joists, lumber, structural members, construction panels, roofing, etc., all of which can create variations in dimension and details. For example, if standard lumber joists are used in place of engineered floor joists, the floor-to-floor dimension would vary from the Plans and require revised stair dimension and framing.

NOTE: WHILE EVERY EFFORT HAS BEEN MADE TO INSURE THESE PLANS ARE ACCURATE AND COMPLETE. THE OWNER/BUILDER MUST VERIFY ALL DIMENSIONS, CONSTRUCTION METHODS, SITE CONDITIONS AND SPECIFICATIONS. SIZES OF STRUCTURAL MEMBERS SUCH AS FOOTINGS, FOUNDATION SIZING, POSTS, BEAMS, JOISTS, RAFTERS, TRUSSES ETC. ARE FOR BIDDING AND REVIEW PURPOSES ONLY.

REVISIONS 11/04/2024

- Changed Master Bath tub/shower to walk-in shower
- Changed Exterior side door to inswing left hand 36x80
- Moved the 1 ft x 3 ft window in the hall bath to the Laundry room.
- Added 2 bulb flood lights at opposite corners of the house.
- All exterior lights are switched from inside the house.
- Changed Dining table and Kitchen sink lights are pendant type.
- Moved A/c Ext unit to other side of storage room (away form window)



AREA SCHEDULE		
NAME	AREA	COLOR
Covered Front Porch	274 sq ft.	
First Floor	1504 sq ft.	
STORAGE	42 sq ft.	

DRAWING SCHEDULE	
COVER	1
ELEV. 1-A	2
ELEV. 2-A	3
MAIN	4
ROOF	5
FND PLAN	6
DETAILS	7
WALL FRAMING	8
ELECTRICAL	9
SCHEDULES	10

MODEL - JACKSON PLAN PLAN





SOUTH ELEVATION

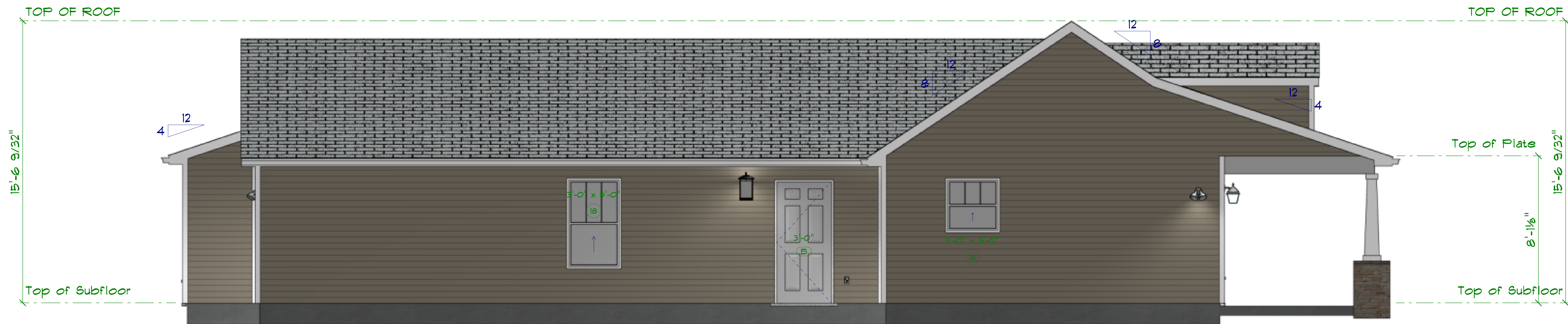
SCALE: 1/2" = 1'-0"



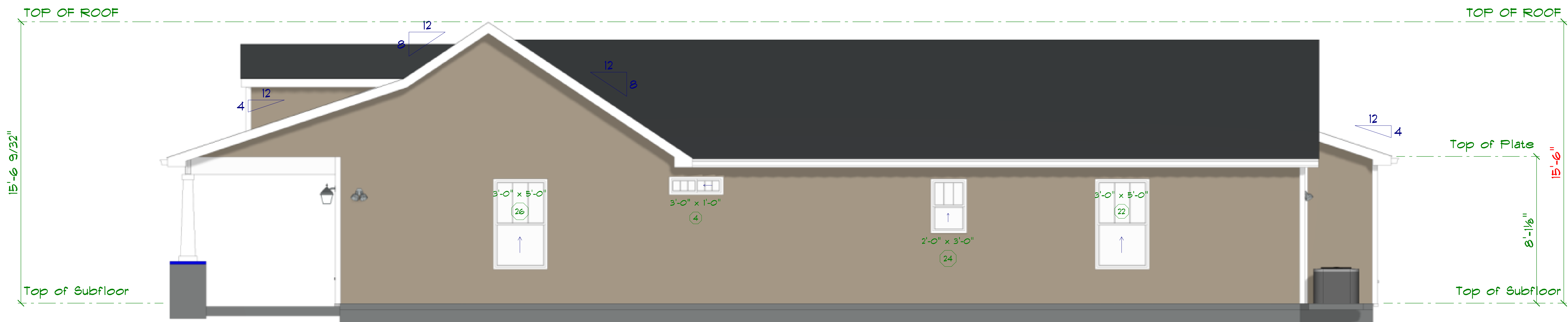
NORTH ELEVATION

SCALE: 1/2" = 1'-0"

MODEL - JACKSON PLAN PLAN



WEST ELEVATION
SCALE: 3/8" = 1'-0"



EAST ELEVATION
SCALE: 3/8" = 1'-0"

MODEL - JACKSON PLAN PLAN

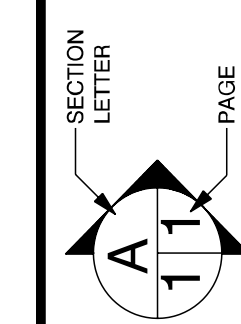


HABITAT FOR HUMANITY PHONE: (404) 951-9694
FAX:



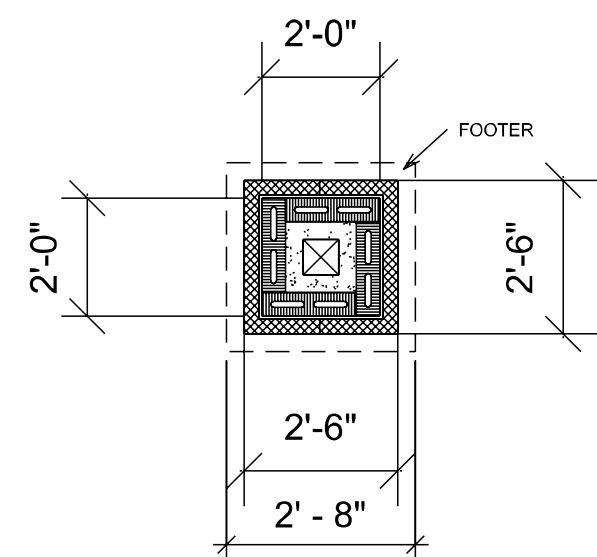
Willis-Wright
188 CADY LANE
CLEVELAND, GA 30528
PHONE: 706-878-8722
FAX: bobillingsdesign@gmail.com

SCALE: 3/8" = 1'-0"
DRAWN BY:
DATE: Monday, November 4, 2024

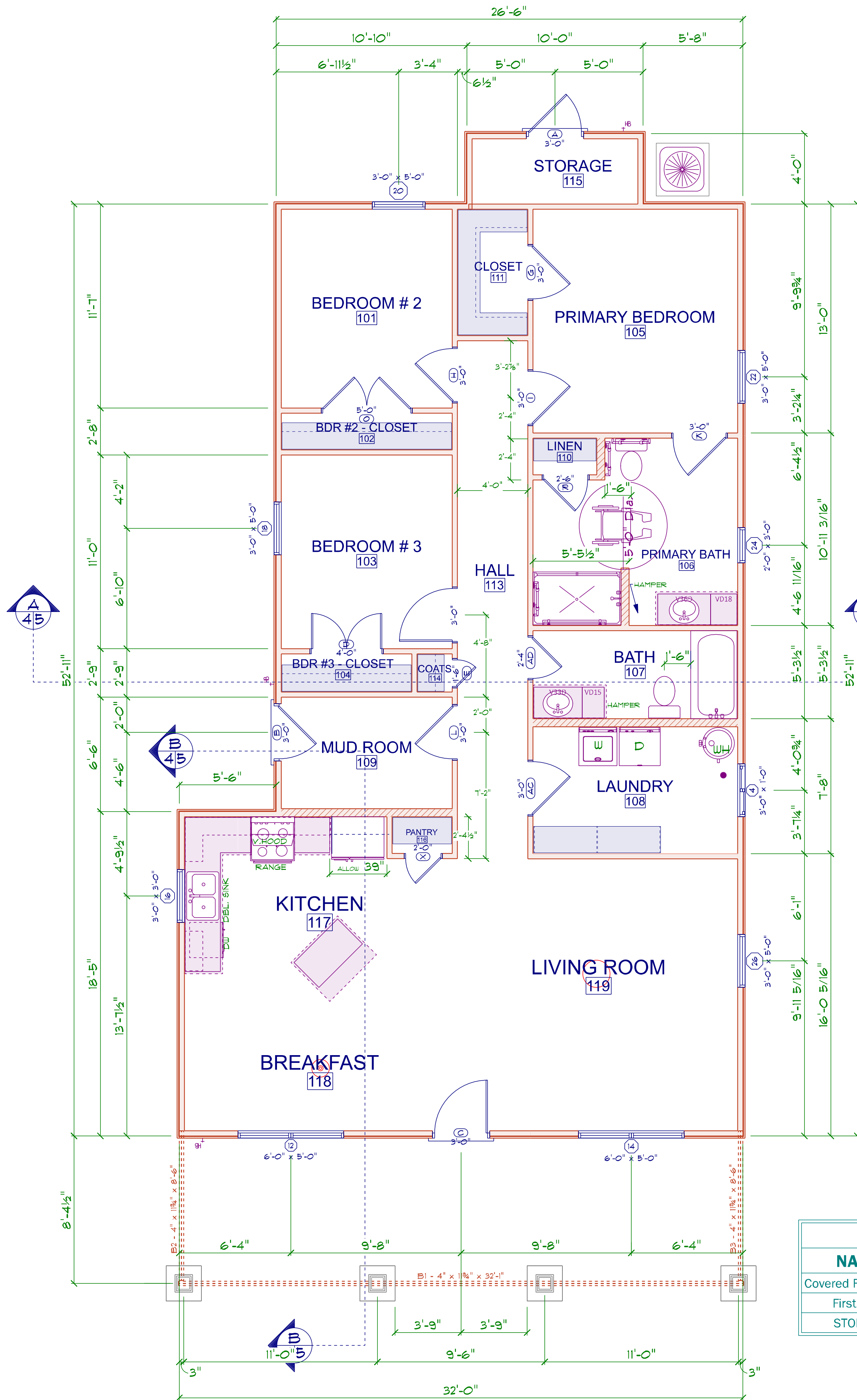
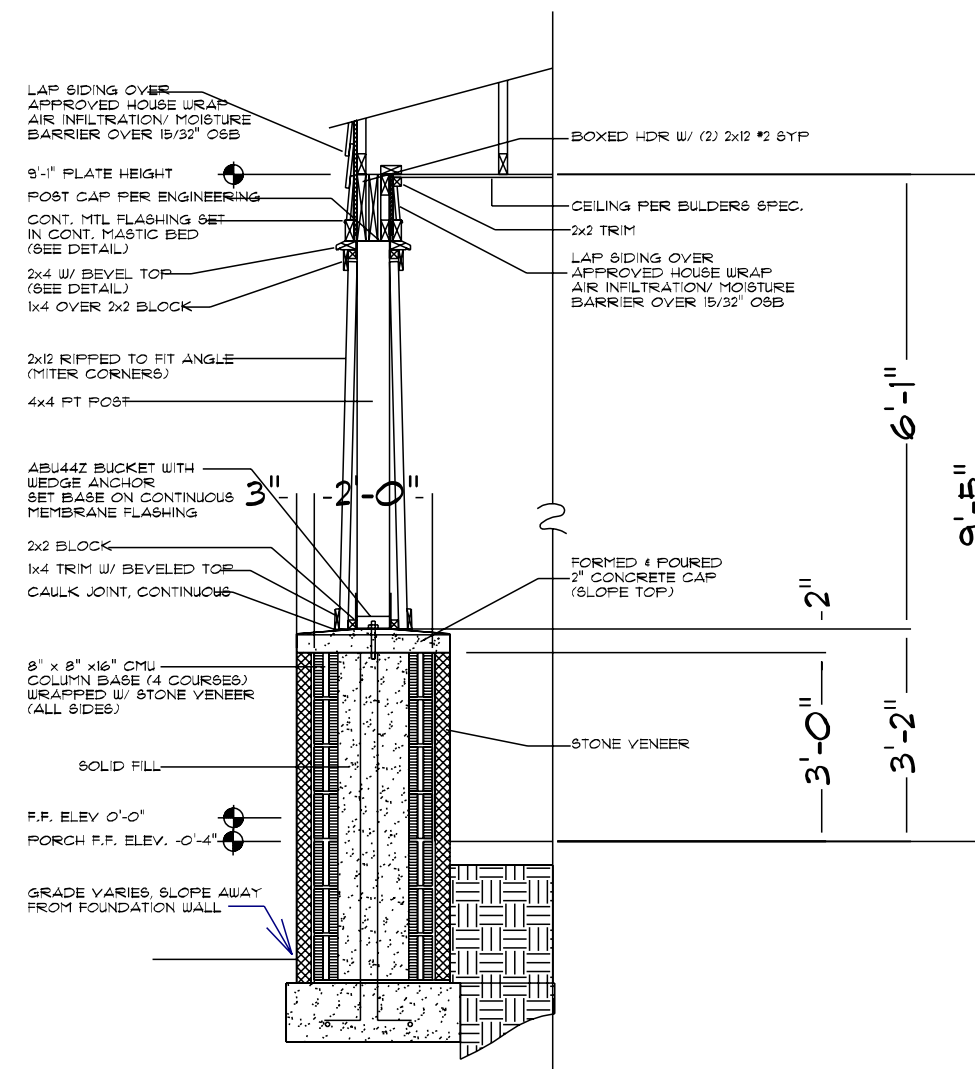


APPROVED:
CHECKED BY:

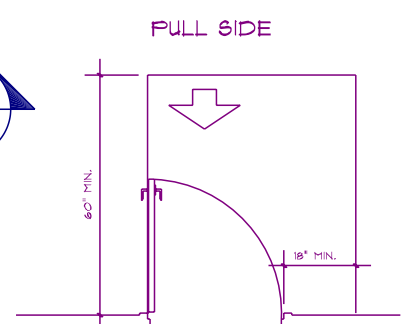
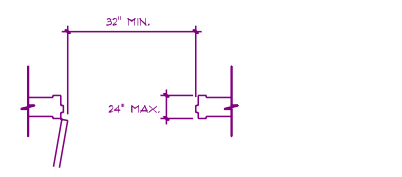
PAGE: 3/10
ELEV. 2-A



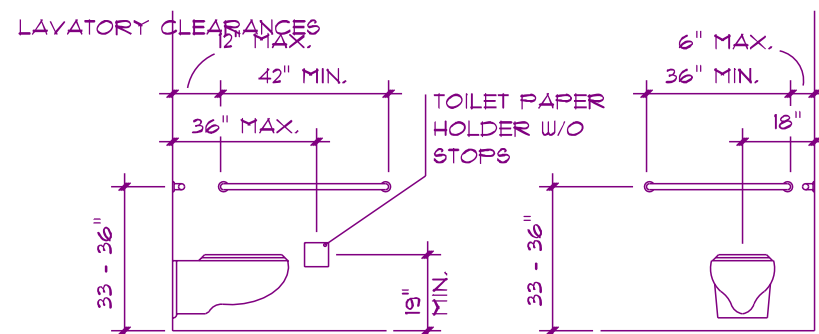
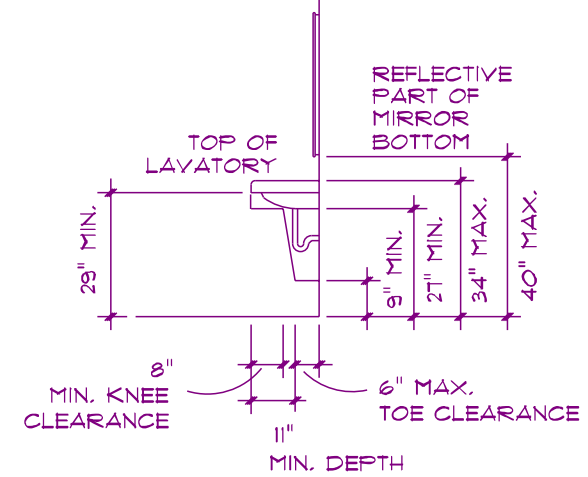
COLUMN
SCALE: NOT TO SCALE



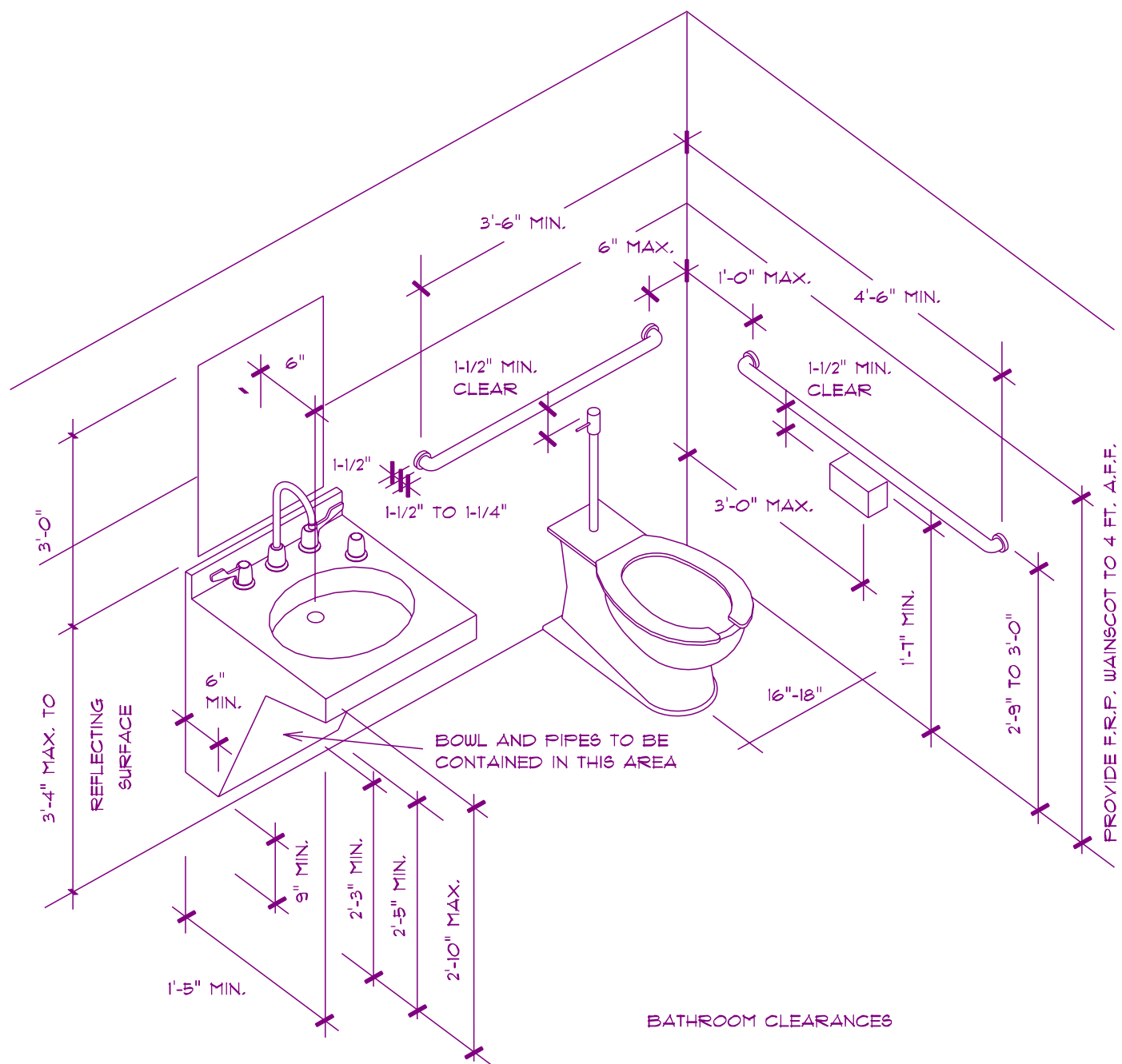
AREA SCHEDULE		
NAME	AREA	COLOR
Covered Front Porch	274 sq ft.	
First Floor	1504 sq ft.	
STORAGE	42 sq ft.	



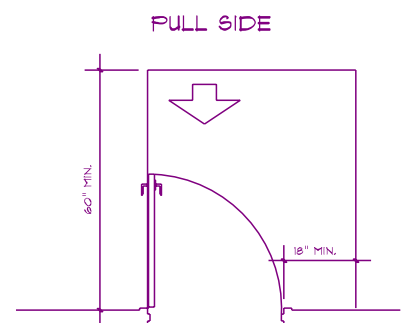
MANEUVERING CLEARANCE AT SWINGING DOOR



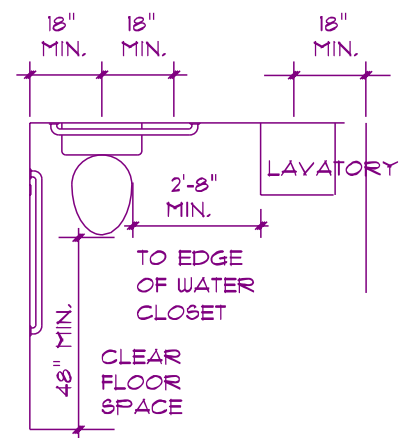
ELEVATIONS



BATHROOM CLEARANCES



MANEUVERING CLEARANCE AT SWINGING DOOR

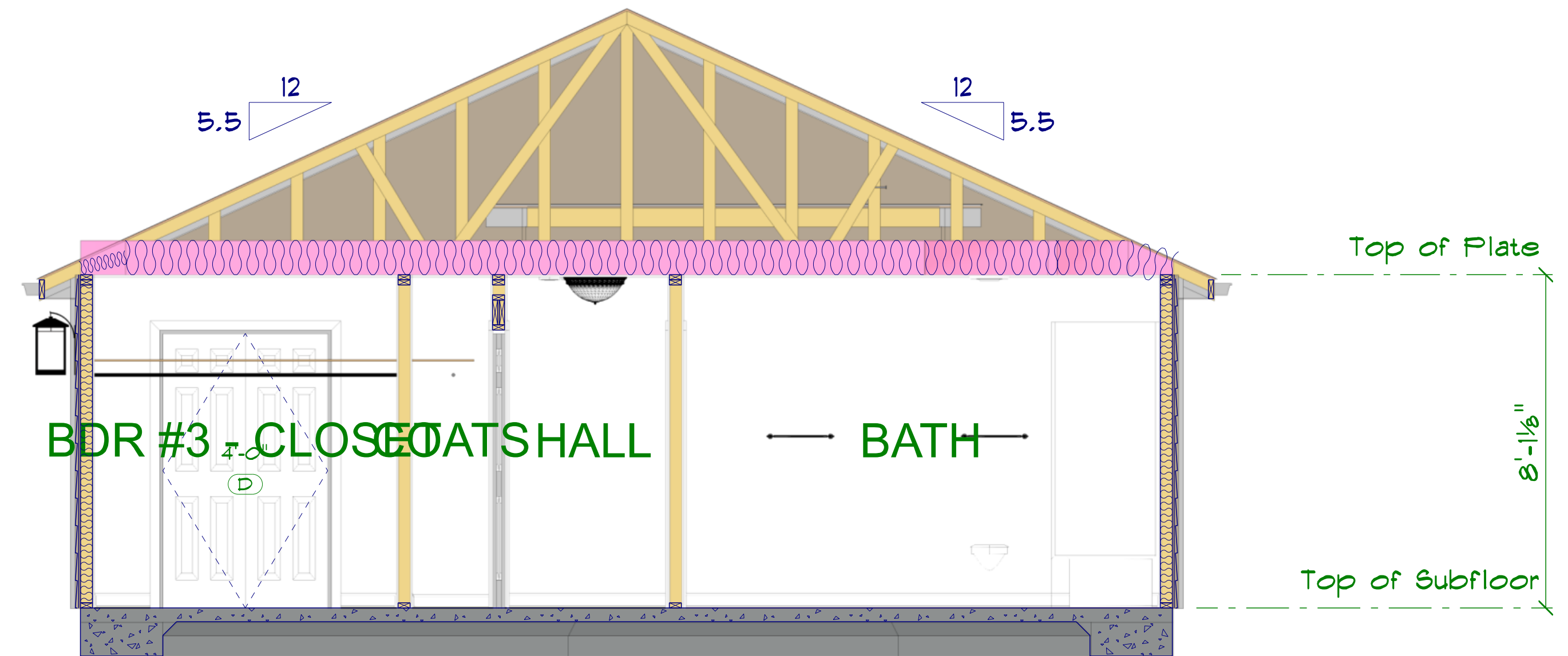
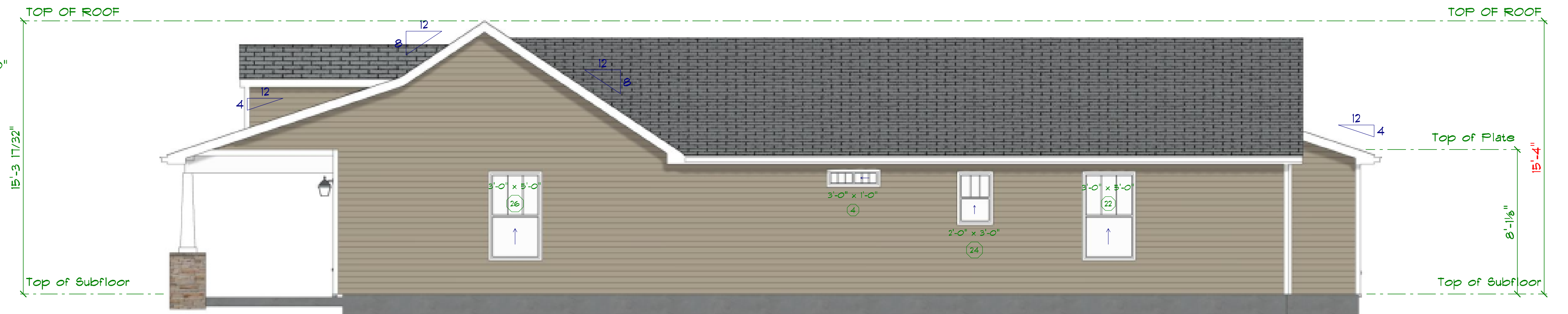


WATER CLOSETS CLEARANCES

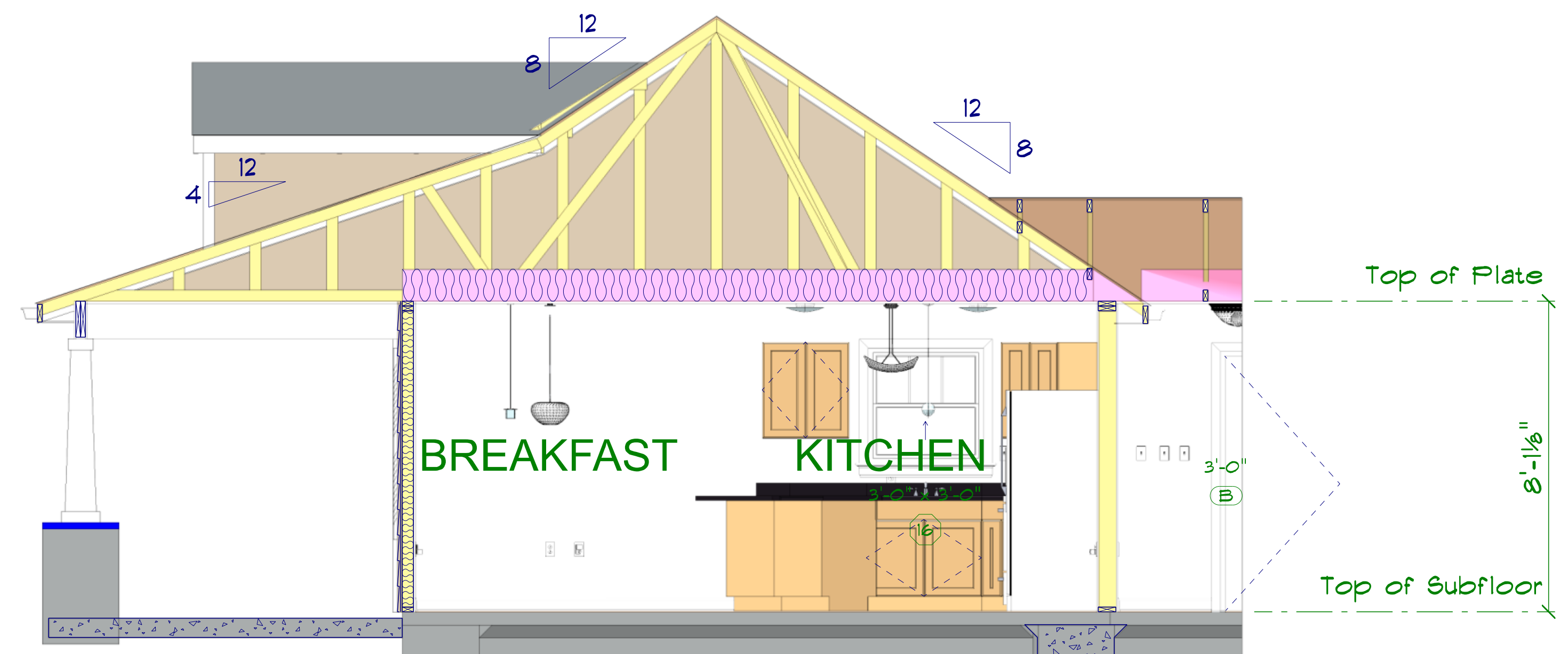
MAIN FLOOR
SCALE: 1/4" = 1'-0"

MODEL - JACKSON PLAN PLAN





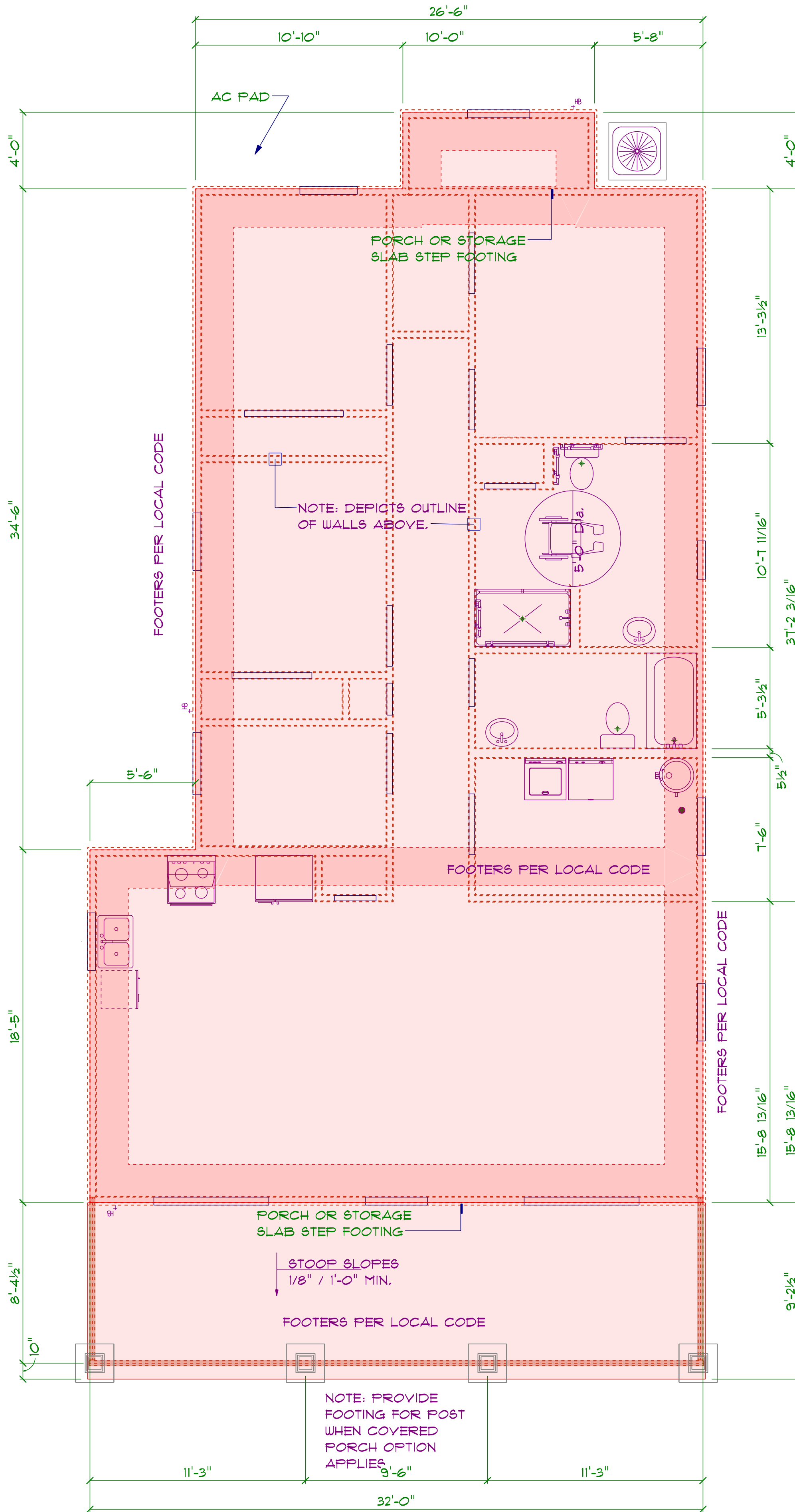
SCALE: $3/8" = 1'-0"$



SCALE: 3/8" = 1'-0"

SCALE: 1/4" = 1'-0"

MODEL - JACKSON PLAN PLAN



FOUNDATION AND SITE WORK NOTES:

- CHECK ELECTRICAL PLAN FOR ANY CONDUIT OR FLOOR RECEPTACLES.
- TERMITE TREAT THE SOIL PRIOR TO POURING CONCRETE AND RETAIN CERTIFICATE FOR OWNER.
- GRADE LOT TO DRAIN AWAY FROM THE FOUNDATION A MINIMUM OF 6 INCHES IN THE FIRST 10 FEET.
- CARPORT AND FRONT PORCH BEAMS ARE NOT SHOWN FOR CLARITY PURPOSES.
- CONTRACTOR SHALL EXCAVATE ALL FOOTINGS TO SOLID, COMPACTED, UNDISTURBED FILL MEETING 90% MODIFIED PROCTOR AS TESTED.
- ALL WELDED WIRE FABRIC SHALL BE 6X6 10/10 WUF.
- POLYETHYLENE VAPOR BARRIER SHALL BE 6 MIL. THICKNESS.

NOTE: PLUMBER TO PROVIDE ONE HOSE BIB IN THE FRONT OF THE DWELLING AND ONE HOSE BIBB IN THE REAR OF THE DWELLING LOCATION PER CONTRACTOR/SUPERVISOR.

PLUMBING CONTRACTOR PROVIDE WATER LINES AND DRAINS TO WASHER

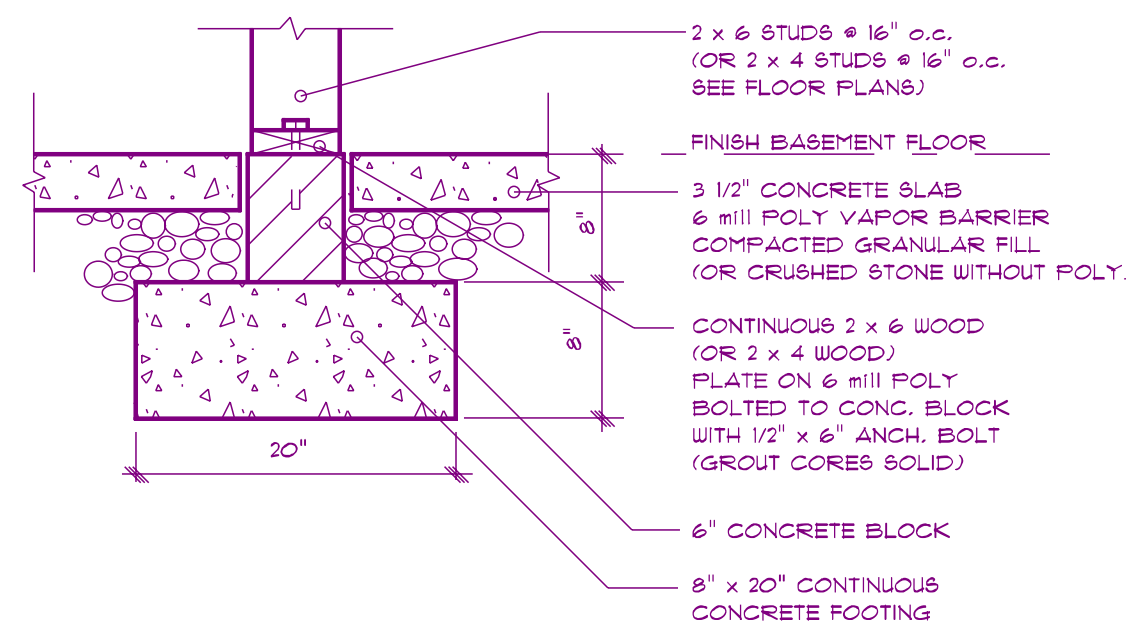
NOTE: PLUMBING CONTRACTOR TO VERIFY ALL PLBG. FIXTURES AND THEIR LOCATIONS IN THE SLAB WITH THE BUILDER.

MAIN FLOOR - FLOOR SYSTEM

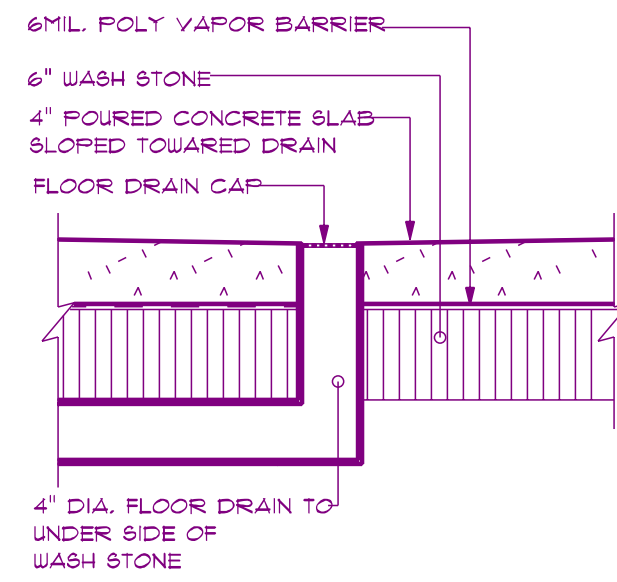
SCALE: 1/4" = 1'-0"

MODEL - JACKSON PLAN

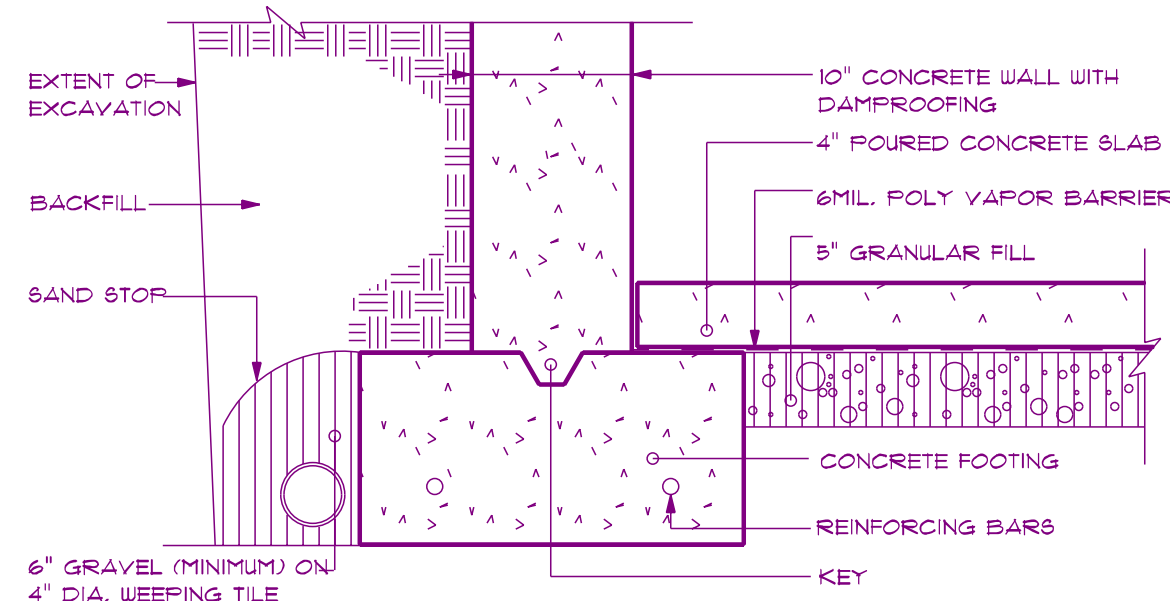
PLAN



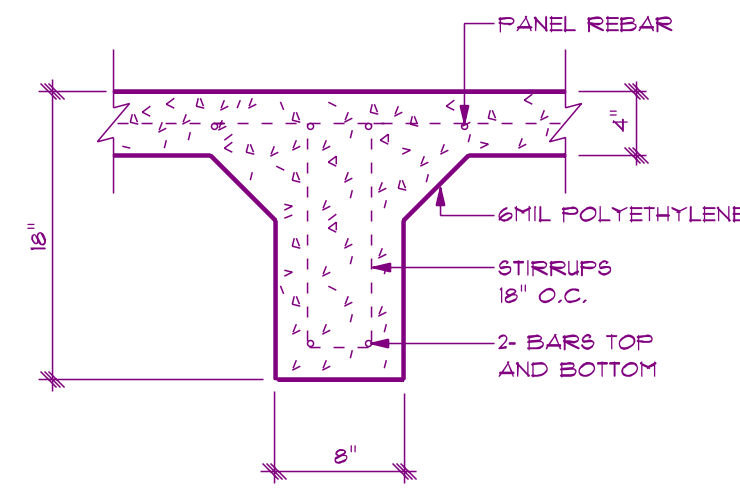
TYPICAL INTERIOR BEARING WALL FOOTING



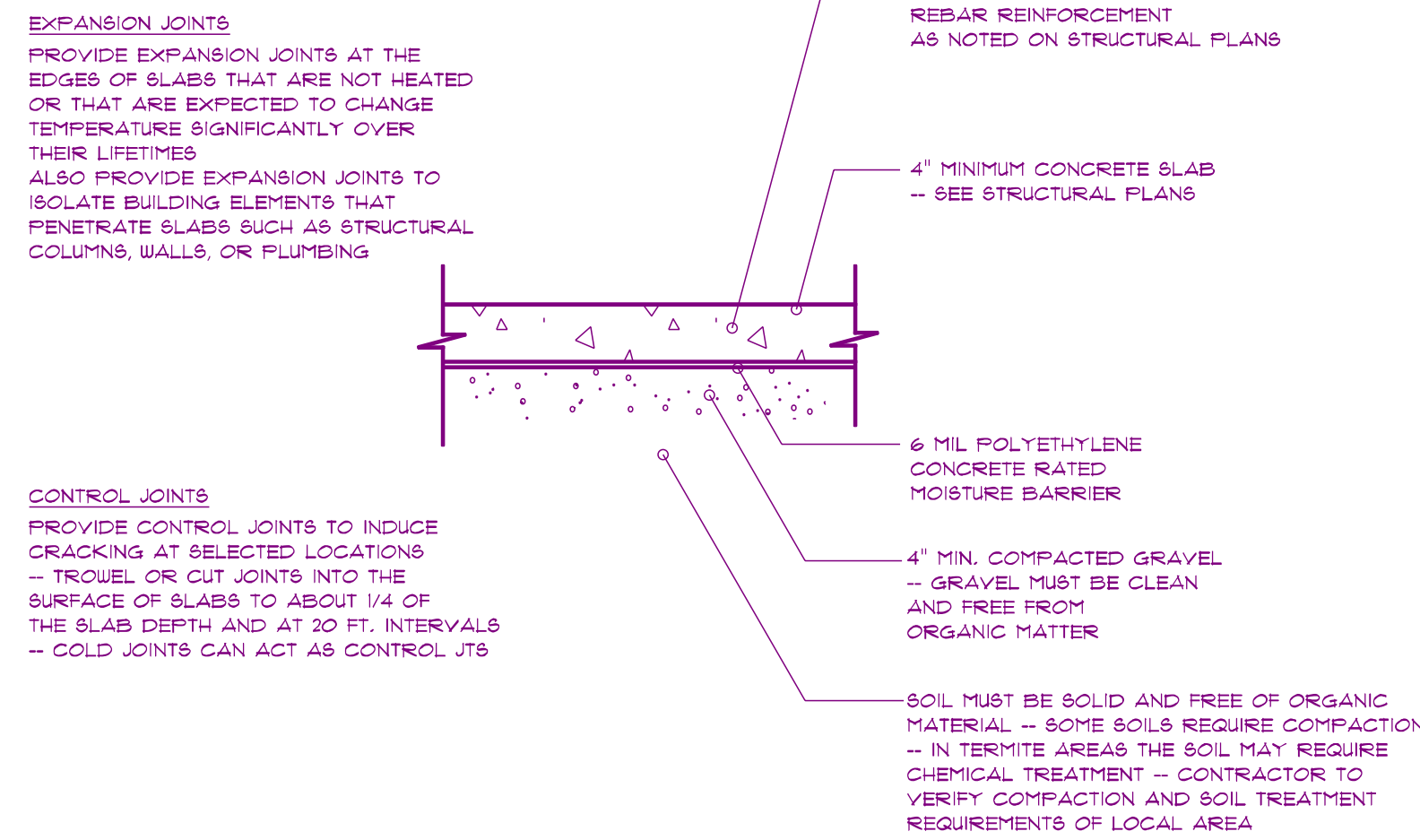
FLOOR DRAIN



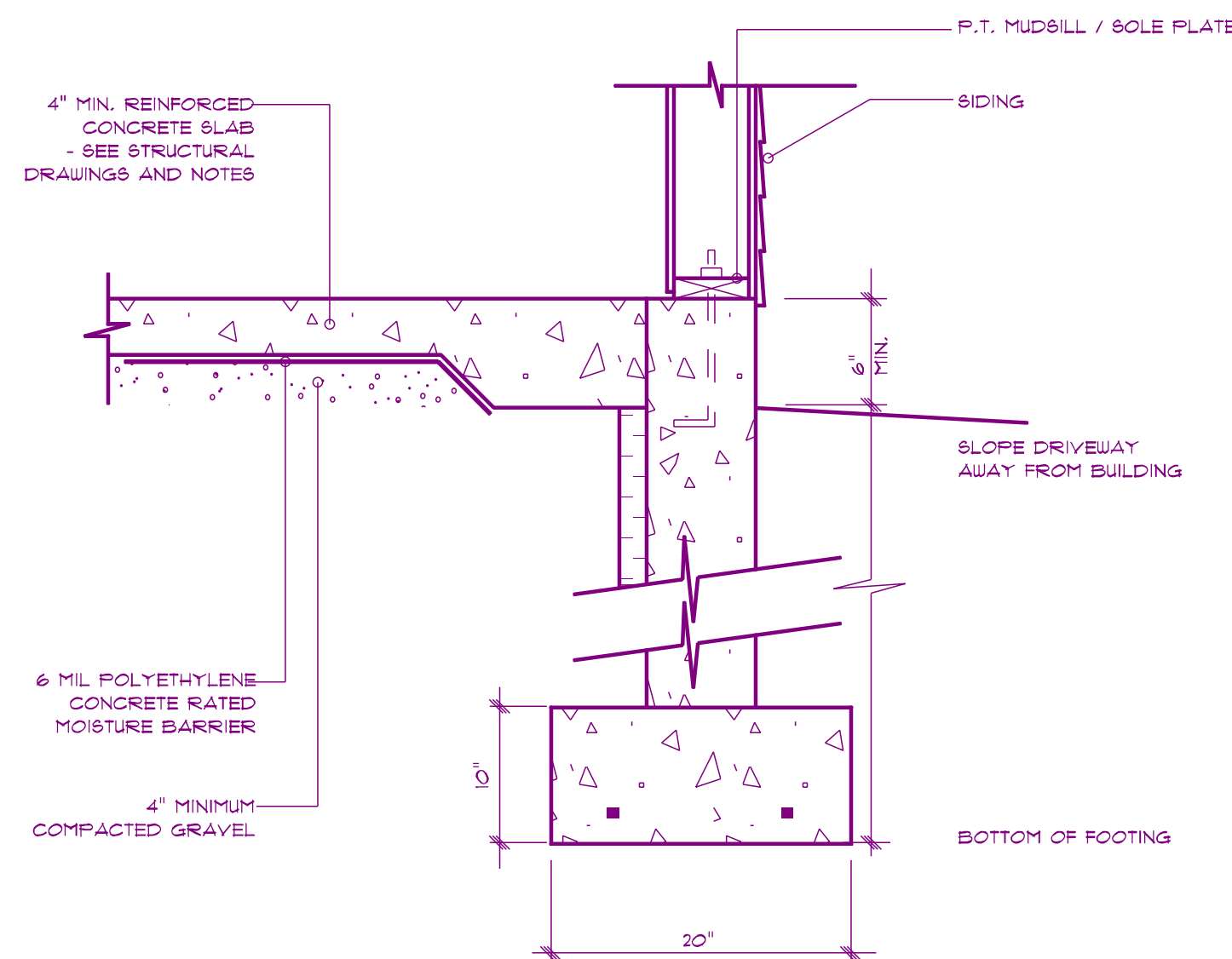
FOOTING WITH SLAB



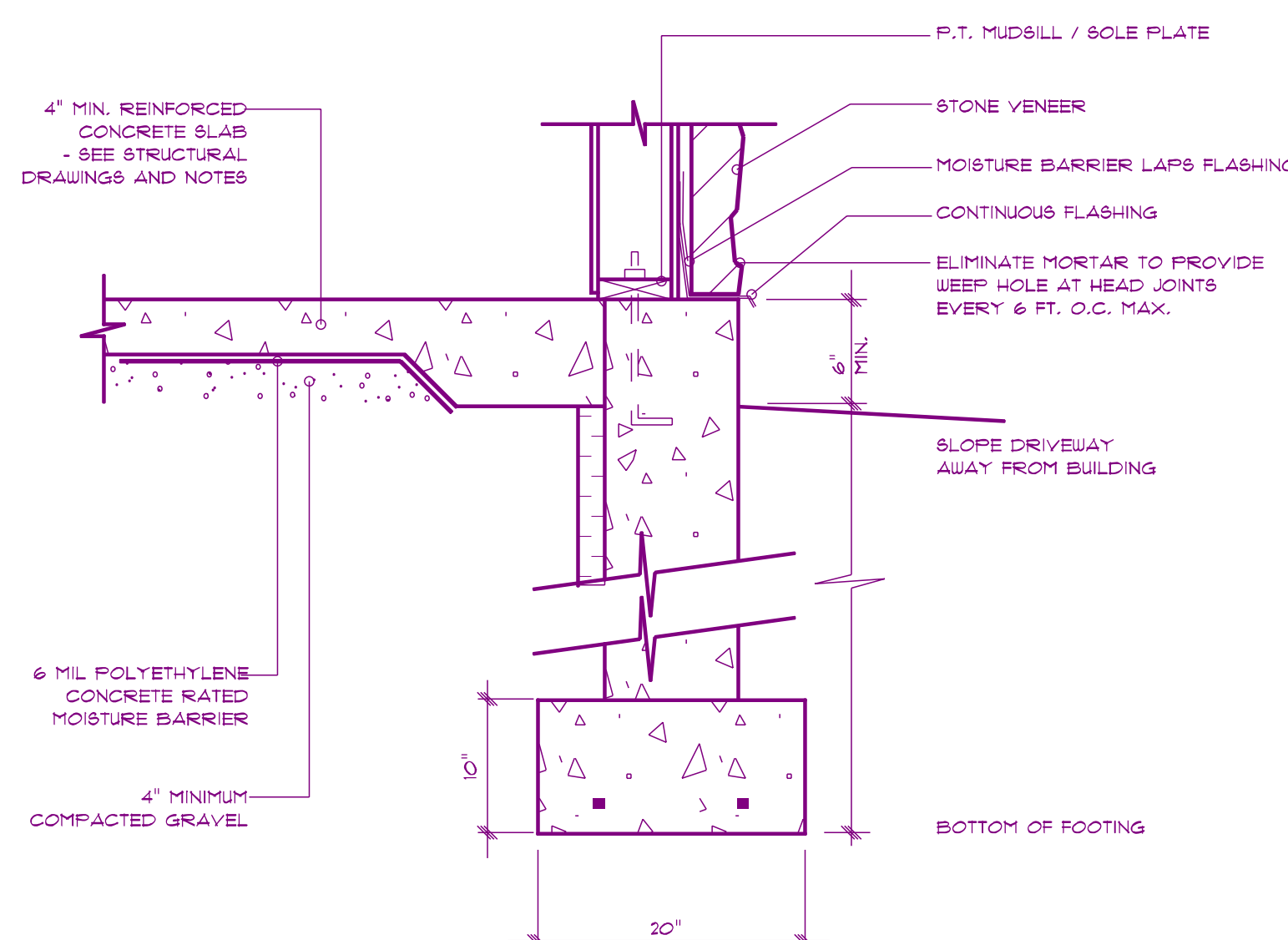
INTERIOR BEAM



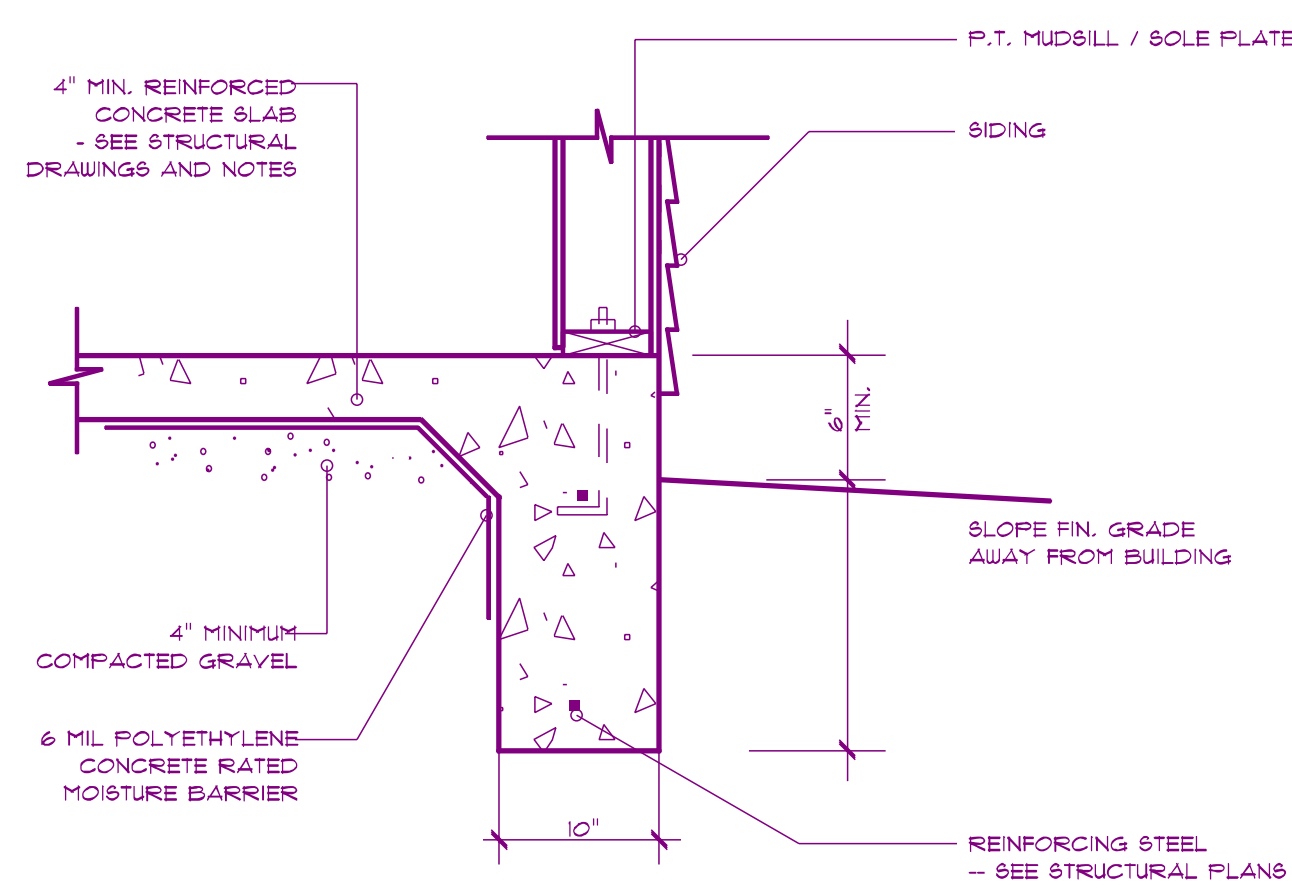
CONCRETE SLAB
DETAILS / NOTES



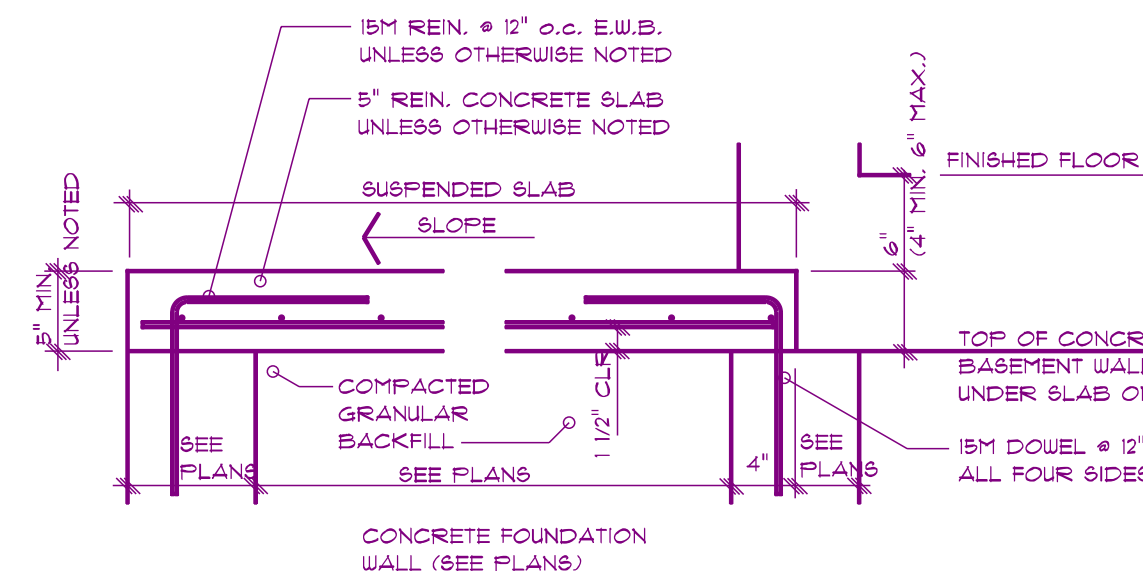
POURED CONCRETE FOOTING DETAIL



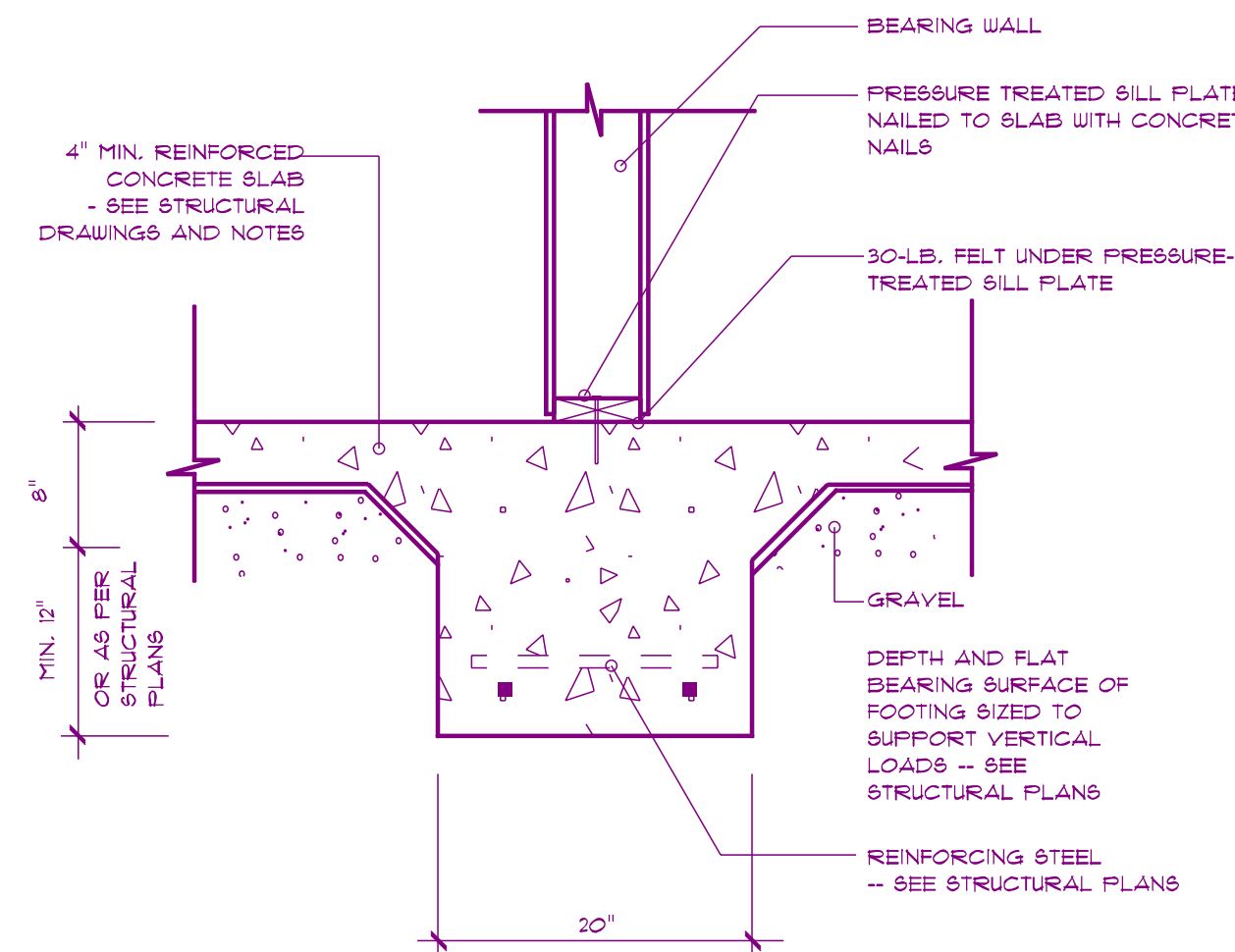
POURED CONCRETE FOOTING DETAIL



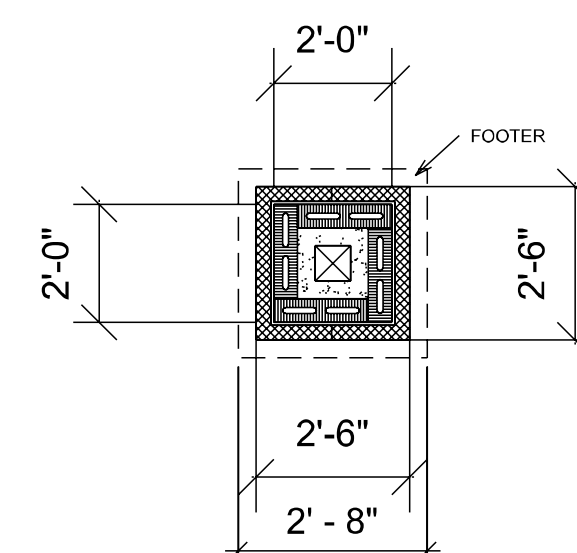
TURN-DOWN
FOOTING DETAIL



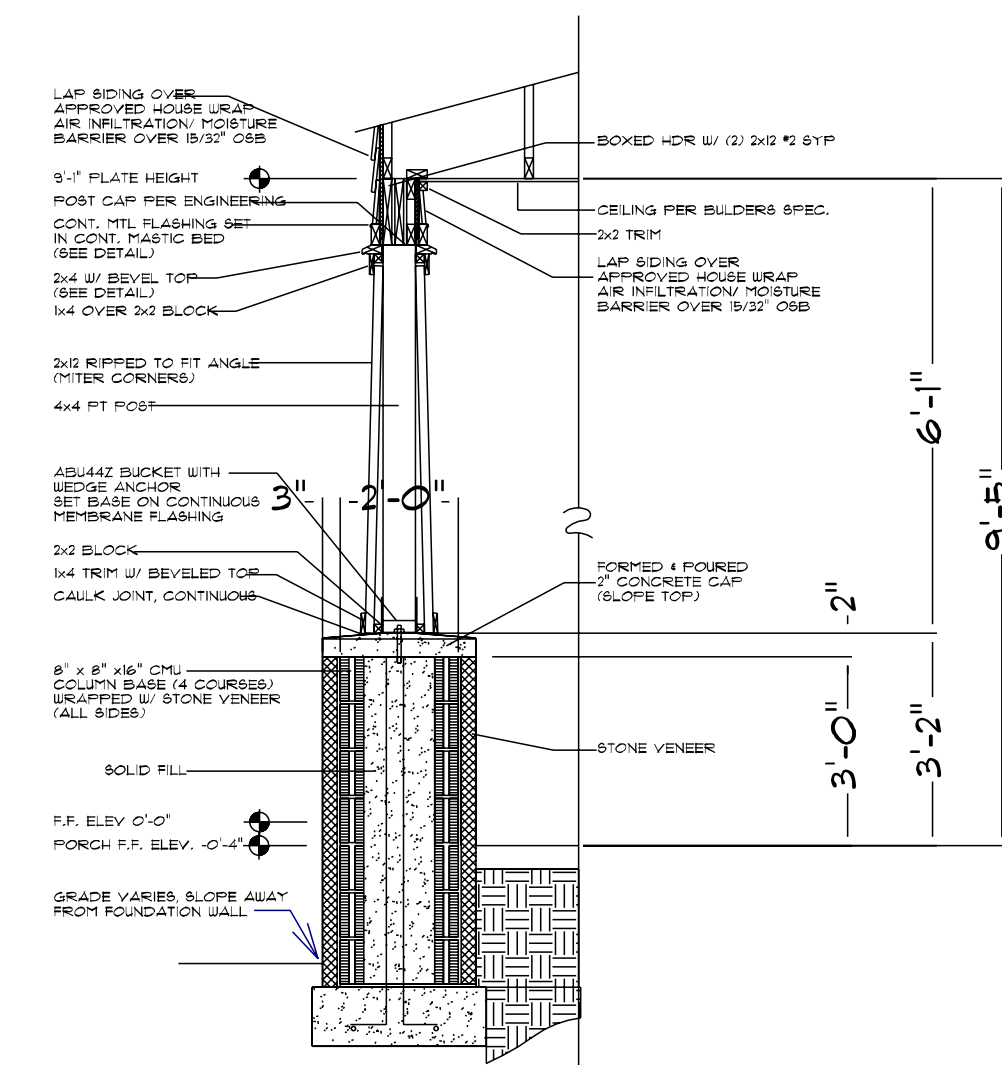
TYPICAL SUSPENDED SLAB

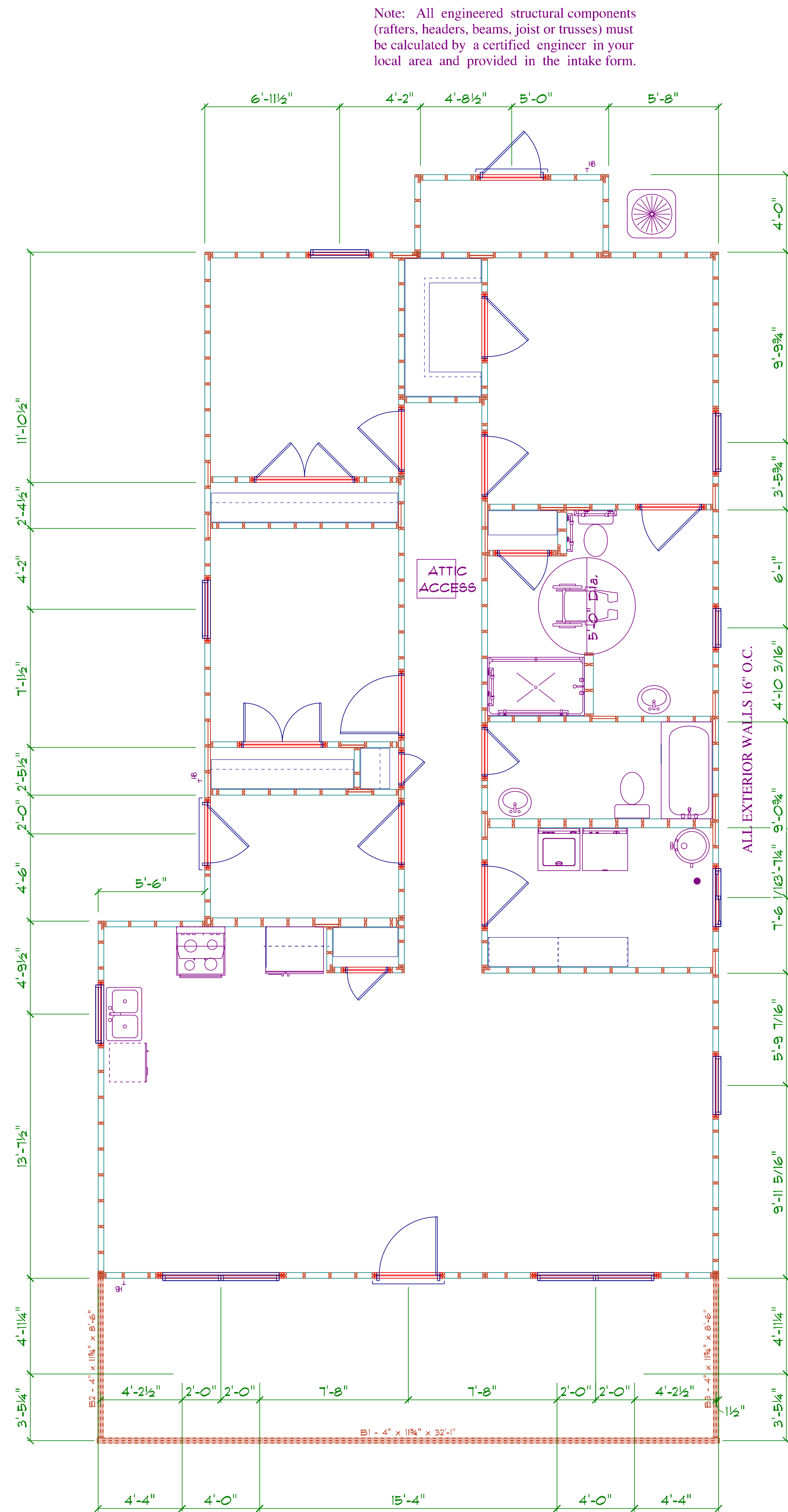


INTEGRAL SLAB FOOTING
DETAIL AT BEARING WALL
MODEL - JACKSON PLAN PLAN

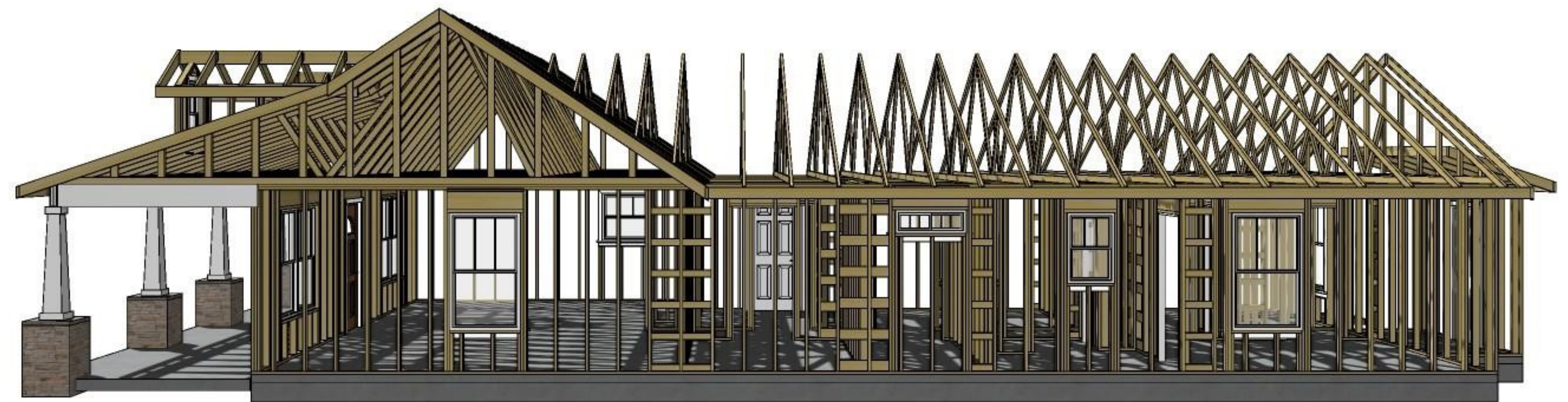
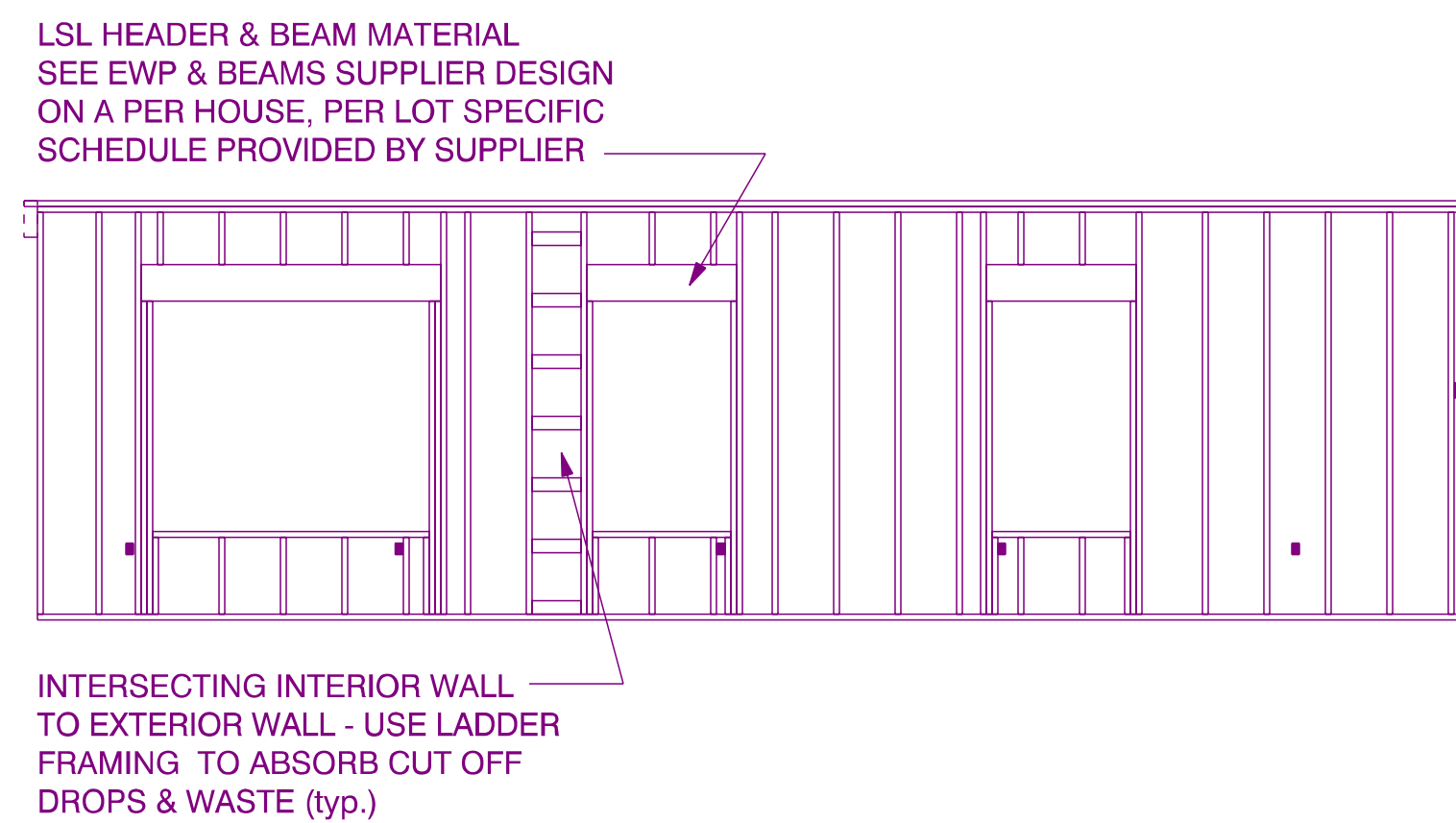
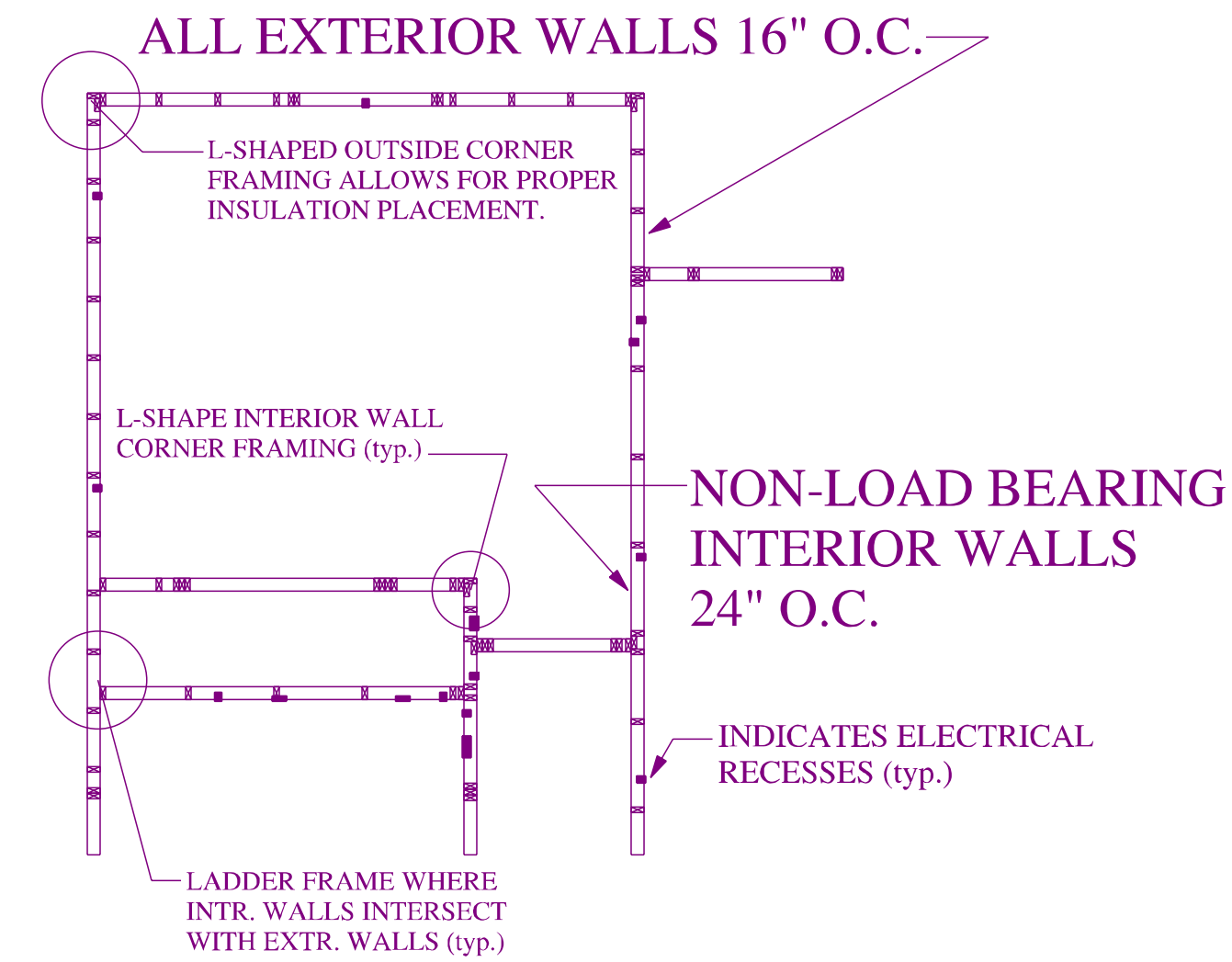


COLUMN
SCALE: 3/8" = 1'-0"





MAIN FLOOR - FRAMING
SCALE: 1/4" = 1'-0"



MODEL - JACKSON PLAN PLAN

ELECTRICAL NOTES:

- 1. ELECTRICAL PLAN IS INTENDED FOR BID PURPOSES ONLY. ALL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH THE NATIONAL ELECTRIC CODE, LATEST EDITION, BY A LICENSED ELECTRICAL CONTRACTOR WHO SHALL BE RESPONSIBLE FOR THE INSTALLATION AND SIZING OF ALL ELECTRICAL WIRING AND ACCESSOREIS.
- 2. SMOKE DETECTORS SHALL BE IN ACCORDANCE WITH THE GEORGIA BUILDING CODE.
- 3. PROVIDE AFCI PROTECTION IN ALL DWELLING UNITS. (FAMILY ROOMS, DINING ROOMS LIVING ROOMS, LAUNDRY ROOMS, CLOSETS, HALLWAYS AND BEDROOMS) (210.12)
- 4. PROVIDE G.F.I. AS REQUIRED AT BATHS AND SINKS PER CODE.
- 5. INSTALL OUTLETS ACCORDING TO NEC.
- 6. ALL WIRING IN ALL ROOMS TO BE ARC. FAULT PROTECTED PER NEC.
- 7. ALL INTERIOR DOUBLE DOORS TO HAVE BALL CATCH HARDWARE.
- 8. PORCH LIGHT TO BE CENTERED BETWEEN FRONT DOOR TRIM AND SHUTTER.

ELECTRICIAN FLOOD LIGHTS

NOTE: 3 WAY & 4 WAY SWITCHING OF FLOOD LIGHTS, FRONT FLOODS CONTROLLED FROM FRONT ENTRY AND SIDE ENTRY. REAR FLOODS ON SIDE ENTRY AND FRONT ENTRY. SEE BLDG. SUPERVISOR FOR EXACT LOC.

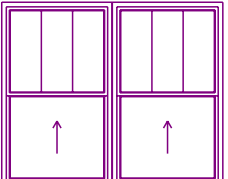
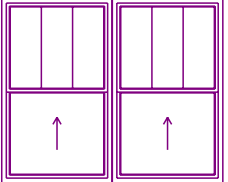
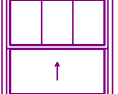
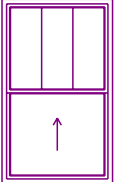
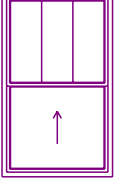
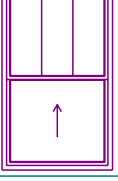
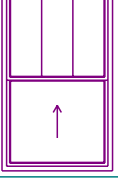
NOTE: ELECTRICAL & PLBG. CONTRACTOR TO PIPE NECESSARY CONDUITS AND WATER LINES/DRAINS TO KITCHEN ISLAND.

ELECTRICAL LEGEND			
ELECTRICAL	COUNT	SYMBOL	COMMENT
ceiling dish round	1		
ceiling drop	1		
ceiling light 03	8		
ceiling light vent square	2		
ceiling teorema	1		
co smoke comb detector	1		
exterior craftsman light fixture	1		
exterior light 03	1		
light	5		
outlet	28		
outlet 220v	4		
outlet gfi	2		
outlet wp	17		
pendant cube	1		
pendant globe	1		
smoke detector	5		
spotlight double	4		
switch	16		
switch 3 way	10		
switch 4 way	1		
vanity bar light 02	2		

AREA SCHEDULE		
NAME	AREA	COLOR
Covered Front Porch	274 sq ft.	
First Floor	1504 sq ft.	
STORAGE	42 sq ft.	

MAIN FLOOR - ELECTRICAL

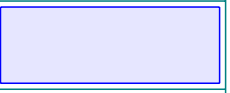
SCALE: 1/4" = 1'-0"

WINDOW SCHEDULE									
OPENING ID	COUNT	SIZE	ROOM SCHEDULE ID	TYPE	SCREEN	GRILLE	EGRESS	ELEVATION	HEADER MATERIAL
4	1	3'-0" x 1'-0"	107	SLIDING WINDOW	No	Yes	No		Dimensional Lumber
12	1	6'-0" x 5'-0"	118	COMBINED UNIT WITHOUT DOOR	Yes	Yes	Yes		Dimensional Lumber
14	1	6'-0" x 5'-0"	119	COMBINED UNIT WITHOUT DOOR	Yes	Yes	Yes		Dimensional Lumber
16	1	3'-0" x 3'-0"	117	WINDOW	Yes	Yes	No		Dimensional Lumber
18	1	3'-0" x 5'-0"	101	WINDOW	Yes	Yes	Yes		Dimensional Lumber
20	1	3'-0" x 5'-0"	101	WINDOW	Yes	Yes	Yes		Dimensional Lumber
22	1	3'-0" x 5'-0"	101	WINDOW	Yes	Yes	Yes		Dimensional Lumber
24	1	2'-0" x 3'-0"	106	WINDOW	Yes	Yes	Yes		Dimensional Lumber
26	1	3'-0" x 5'-0"	119	WINDOW	Yes	Yes	No		Dimensional Lumber
27	1	2'-0" x 3'-0"		WINDOW	No	Yes	No		Dimensional Lumber
31	1	2'-0" x 3'-0"		WINDOW	No	Yes	No		Dimensional Lumber

CABINET SCHEDULE					
NAME	FINISH	WIDTH	DEPTH	HEIGHT	COUNT
B9D	Maple Light	9"	24"	34.5"	2
B21D	Maple Light	21"	24"	34.5"	2
B24	Maple Light	24"	24"	34.5"	1
B24D	Maple Light	24"	24"	34.5"	1
B36D	Maple Light	36"	24"	34.5"	1
BSC36D	Maple Light	36"	24"	34.5"	1
V33D	Maple Light	33"	21"	30.5"	1
V36D	Maple Light	36"	21"	30.5"	1
VD15	Maple Light	15"	21"	30.5"	1
VD18	Maple Light	18"	21"	30.5"	1
W1530F	Maple Light	15"	12"	30"	1
W2430F	Maple Light	24"	12"	30"	1
W2730F	Maple Light	27"	12"	30"	1
W3018F	Maple Light	30"	12"	18"	1
WSC3030F	Maple Light	30"	12"	30"	1

DOOR SCHEDULE					
OPENING ID	COUNT	HINGE	SIZE	TYPE	ROOM SCHEDULE ID
12	1	UU	6'-0" x 5'-0"	COMBINED UNIT WITHOUT DOOR	118
14	1	UU	6'-0" x 5'-0"	COMBINED UNIT WITHOUT DOOR	119
A	1	R	3'-0"	DOOR	115
AC	1	R	3'-0"	DOOR	108
AD	1	L	2'-4"	DOOR	107
B	1	L	3'-0"	DOOR	109
C	1	R	3'-0"	DOOR	119
D	1	LR	4'-0"	DOOR	104
E	1	R	1'-6"	DOOR	114
G	1	L	3'-0"	DOOR	111
H	1	L	3'-0"	DOOR	101
I	1	R	3'-0"	DOOR	105
K	1	L	3'-0"	DOOR	106
L	1	R	3'-0"	DOOR	109
O	1	LR	5'-0"	DOOR	102
R	1	R	2'-6"	DOOR	110
X	1	L	2'-0"	DOOR	116
Y	1	L	3'-0"	DOOR	103

BEAM SCHEDULE							
ID	DEFINITION	WIDTH	DEPTH	LENGTH	COUNT	COMMENT	LINK
2	2 - 2x12 Built-Up Beam/DW	4"	11¾"	8'-6"	2		
2	2 - 2x12 Built-Up Beam/DW	4"	11¾"	32'-1"	1		

AREA SCHEDULE		
NAME	AREA	COLOR
Covered Front Porch	274 sq ft.	
First Floor	1504 sq ft.	
STORAGE	42 sq ft.	

DRAWING SCHEDULE	
COVER	1
ELEV. 1-A	2
ELEV. 2-A	3
MAIN	4
ROOF	5
FND PLAN	6
DETAILS	7
WALL FRAMING	8
ELECTRICAL	9
SCHEDULES	10